

Addendum #01



CLARK NEXSEN
4525 Main Street, Suite 1400
Virginia Beach, VA 23462
P: 757.455.5800
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Project: Hofheimer Hall Second Floor Renovations
For Gynecology
Eastern Virginia Medical School

Issue Date: April 15, 2024

Project # CN# 10376; EVMS RFP# 24-EVMS-01-NWD

This addendum is issued pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Request for Proposals (RFP), Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contract Agreement.

This addendum addresses the following Bidder questions:

I-001: Pre-Proposal Question 1 – Is the Davis-Bacon Act applicable to this project?

Response: As this project is not federally funded or assisted the Davis-Bacon Act does not apply, however EVMS encourages all suppliers to pay local prevailing wage rates.

ATTACHMENTS:

- Pre-Proposal Conference Agenda
- Pre-Proposal Conference Presentation
- Pre-Proposal Conference Attendance Sheet

Note: A signed acknowledgement of this addendum must be received at the location indicated on the Pricing Schedule attached to your proposal. Signature on this addendum does not substitute for your signature on the original proposal document. The original proposal must be signed. Faxed or e-mailed addenda will not be accepted.

END OF ADDENDUM NO. 01



ATTENDEES

Date: April 9, 2024
 Project: Hofheimer Hall Reno., 2nd Floor, Gynecology
 Eastern Virginia Medical School
 Norfolk, VA
Pre-Proposal Conference

Name	Organization / Position	Telephone (Incl Area Code)	Email Address
Damian Seitz, AIA	Clark Nexsen / Principal	757.961.7952	dseitz@clarknexsen.com
Tyler Mochizuki	Clark Nexsen / Architectural Designer	757.961.7777	tyler.mochizuki@clarknexsen.com
Vernon Payne	EVMS / Assistant Director of Facilities	757.446.5034	paynevs@evms.edu
Neal Dewing	EVMS / Assistant Director of Materials Mgmt	757.446.5224	dewingnw@evms.edu
Michael Ellis	Ritchie - Curbow Construction Company	757-873-0123	estimating@ritchiecurbow.com
Will Roberts	Compo Construction Company	757-859-2184	estimating@compoconstruction.com
Richard Browning	R.D. Lambert + Son	757-754-0895	rbrowning@rdlambert.com
Gary Richardson	" "	757-754-0461	garyr@rdlambert.com
Rob Bastian	I.E.S. Electrical	757-353-9699	Robert.Bastian@iescl.net
Sam Adsit	Hoy Construction	757-853-5557	Sam@hoyconstruction.com
Edward Salazar	EVMS	446 5874	salazars@evms.edu
Steven M Dermott	ODU	(757)683-4282	smdermo@odu.edu



ATTENDEES

Date: April 9, 2024
 Project: Hofheimer Hall Reno., 2nd Floor, Gynecology
 Eastern Virginia Medical School
 Norfolk, VA
Pre-Proposal Conference

Name	Organization / Position	Telephone (Incl Area Code)	Email Address
Manuel Gonzalez	MSGi Construction	757-776-9434	mgonzalez@msgi.construction.com

Virtual
(SDUOSB)

Pre-Proposal Conference Agenda



CLARK NEXSEN
4525 Main Street, Suite 1400
Virginia Beach, VA 23462
P: 757.455.5800
F: 757.455.5638

Project: Renovations to Hofheimer Hall, 1st Floor
Ghent Family Medicine
Eastern Virginia Medical School
Norfolk, VA

Date: 04.09.2024
Time: 2:00 pm
Purpose: Pre-Proposal Conference
Attendees: See Sign-In Sheet

Comm #: CN# 10376
Location: EVMS Materials Management Bldg
711 Southampton Avenue, Norfolk, VA
Materials Management Conference Room

INTRODUCTIONS:

The Owner: **Eastern Virginia Medical School**

Vernon Payne, Assistant Director of Facilities
Neal Dewing, Assistant Director of Materials Management

The A/E: **Clark Nexsen**
Damian Seitz, Principal, dseitz@clarknexsen.com

Mandatory Pre-Proposal Conference: Attendance of this meeting is mandatory for those submitting a bid. Those proposers attending the Pre-Proposal Conference virtually only, are required to conduct an in-person site visit prior to RFP submittal due date to ensure a thorough understanding of the existing conditions. Site visits can be coordinated through EVMS Facilities:

Vernon Payne
PayneVS@evms.edu
(757) 446-5024

Sign-In Sheet: Please sign-in on the sign-in sheet; print legibly.

I. REQUEST FOR PROPOSAL:

- a. Drawings and Project Manual (Forms & Specifications) are only available electronically; Construction Documents currently consist of:
 - i. (1) Volume – Specification Project Manual dated March 26, 2024
 - ii. (1) Set of Drawings (45 sheets), dated March 26, 2024
 1. Broken into two (2) files for procurement website
 - iii. Amendment #1, dated April 4, 2024 – Correct link for PreProposal Conference

Future addenda will include this Agenda, Pre-Proposal sign in sheet and answers to Pre-Proposal Questions

- b. Sealed proposals to EVMS no later than **2:00pm on Friday, May 3rd, 2024**. Proposals received at 2:01pm or later will be late and will not be accepted.
 - i. Proposals may be received by the Issuing Agency via Mail/Courier, Hand Delivery or E-mail

Pre-Proposal Conference Agenda



c. Pre-Proposal Questions

- i. No oral explanations. All questions must be submitted in writing on the Pre-Proposal Question Form included in the RFP.
- ii. E-mail questions to Proposals@EVMS.edu AND copy Damian Seitz (Clark Nexsen); email address included in the RFP. In order to maintain the posted due date, all questions shall be submitted no later than (4:00pm) on **Tuesday, April 23rd, 2024**. Responses will be provided no later than Friday, April 26th, 2024.

d. Pricing Schedule

- i. Contract award will be based on **Best Value Lump Sum Basis**
 1. Evaluation Criteria listed in RFP
 2. Price to include the proprietary bid amount listed on the Pricing Schedule. Scope of services for this proprietary work included in the RFP.
- ii. Time for Completion: Substantial Completion on or before **November 29, 2024** based on a NTP authorizing Work to proceed on or before **May 31, 2024**.
- iii. Acknowledgement of Addenda – **It is the responsibility of the Bidder to submit the proper Bid Form acknowledging all addenda. Addenda will be posted on the website listed in the RFP as they are issued.**

II. GENERAL CONDITIONS & FORMS

- a. Project is **NOT** being funded by the Virginia Department of General Services (DGS) and is **NOT** subject to their Construction and Professional Services Manual (CPSM).
- b. General Conditions of the Construction Contract (CO-7) and Contract Between Owner and Contractor (CO-9) have been modified from their original version by EVMS.
 - i. Building Official/Authority Having Jurisdiction – City of Norfolk
 - ii. Permits to be paid for by Contractor
- c. Supplemental General Conditions – Liquidated Damages = \$200/calendar day
 - i. “Excusable Non-Compensable Delays”

Pre-Proposal Conference Agenda



III. SPECIFICATIONS AND DRAWINGS

The project is generally described as including renovations to the 2nd floor of Hofheimer Hall. The renovation area is approximately 5,168 square feet and houses Gynecology, an outpatient clinic.

- a. Use of Premises
 - i. Confine construction operations to areas within the Construction Limits and areas indicated on the drawings for laydown.
 - ii. Owner will occupy the premises (all floors) during entire construction period. Contractor shall maintain access to these occupied spaces.

- b. Phasing
 - i. None required.

- c. Work Restrictions
 - i. Normal Building Business Operating Hours – 8:00am – 5:00pm
 - ii. Contractor On-Site Work Hours – 6:00am to 6:00pm, M-F, except as otherwise directed.
 - 1. Non-Work Hours Access available.
 - 2. Work outside of active construction zones in support of the renovation to be coordinated with Owner so as not to interfere with normal business operations.
 - 3. Core Drilling and other operations that may result in high levels of noise, vibration, odors, or other activities disruptive to the building occupants shall be completed outside of normal business operating hours.

- d. Temporary Facilities
 - i. Parking – Use of existing Facilities parking lot available for construction personnel.
 - ii. Use of Owner's water and power systems available without metering and without payment of use charges.
 - iii. Contractor to provide temporary temperature/humidity control unless otherwise directed.
 - iv. Materials and demolition debris to be conveyed through the Contractor access points indicated OR can be conveyed through chute / lift.
 - 1. Must provide floor protection along the entire route of construction debris / material travel.
 - 2. Must be returned to their existing condition before initial use at end of job

- e. Miscellaneous Scope Items
 - i. Removal of Misc Steel Equipment Supports
 - ii. Work in NIC Areas / Floor Below – Required to support renovation, but not anticipated to require removal of ceiling grid.
 - iii. Shades / Blinds – To remain/be maintained where partition arrangement at curtain wall remains unchanged. Those which need to be removed due to reconfiguration of space to be turned over to the Owner.
 - iv. Plumbing System – Inspect Sewer / Vent Piping in Project Area
 - v. Mechanical System – Removal of all ductwork and VAV piping in project area
 - vi. Electrical System – Utilizing Existing Panels and Feeds to Floor
 - 1. Note location of Panel L2B

Pre-Proposal Conference Agenda



- vii. Telecom System – Demolition back to sleeve at IT Room; EVMS to remove from there.

IV. SITE VISIT

As this is an operating clinical space, contractor site visits will be scheduled. Call Assistant Facilities Director Vernon S Payne 757-446-5024 to explore the area.



EVMS

Renovations to Hofheimer Hall, 2nd Floor

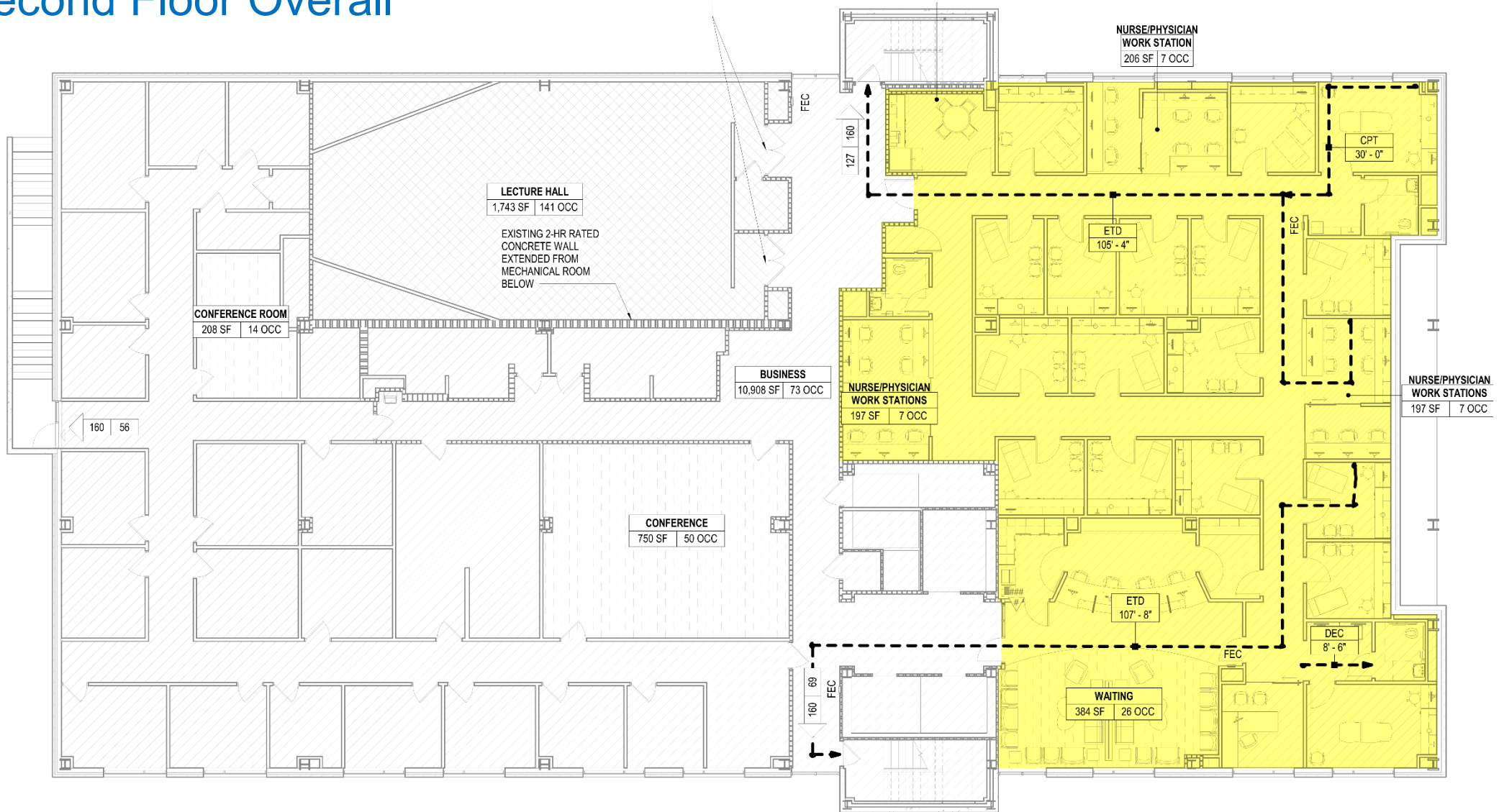
Gynecology

Norfolk, Virginia

Pre-Proposal Conference



Second Floor Overall

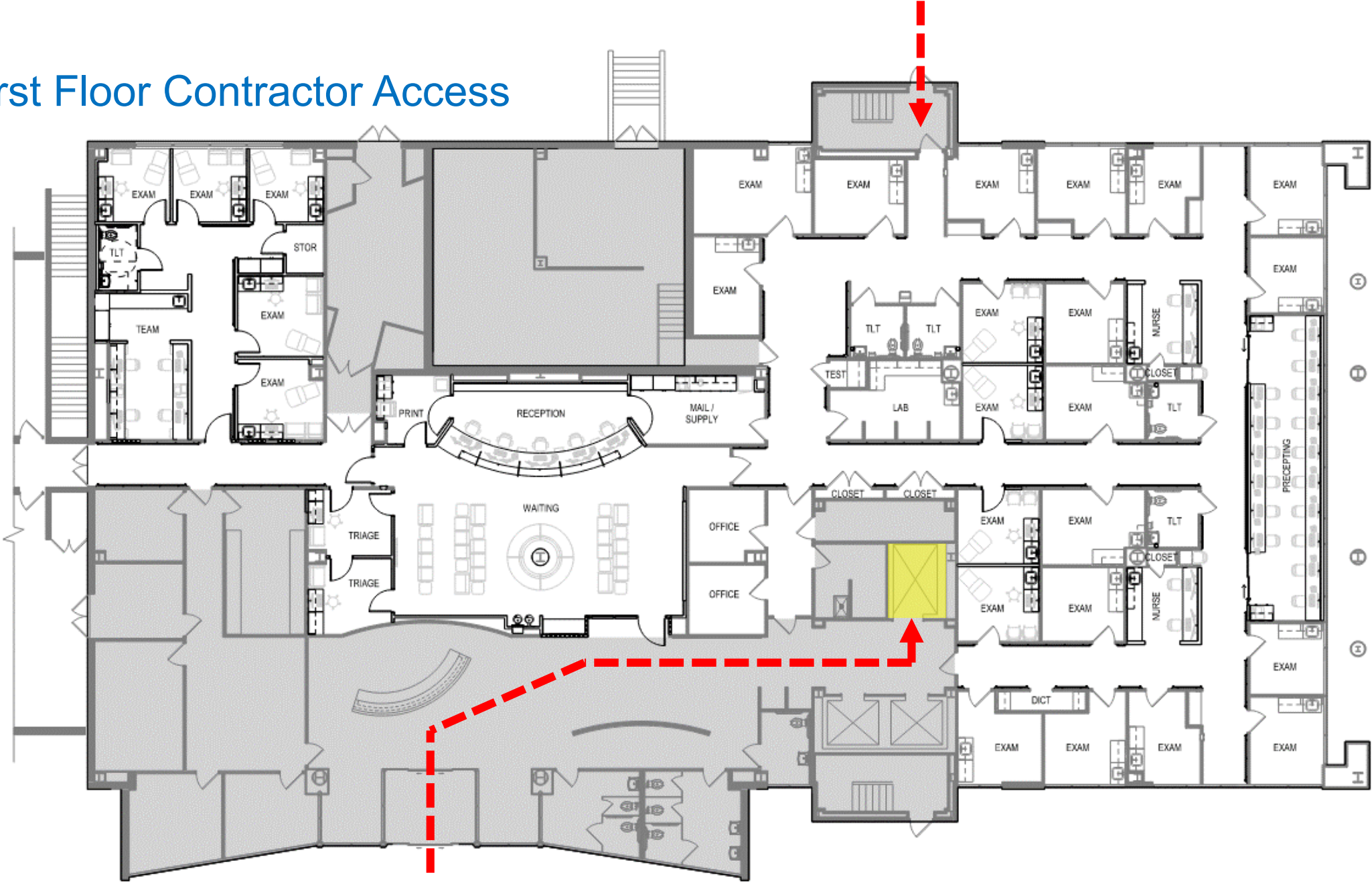


Second Floor Plan



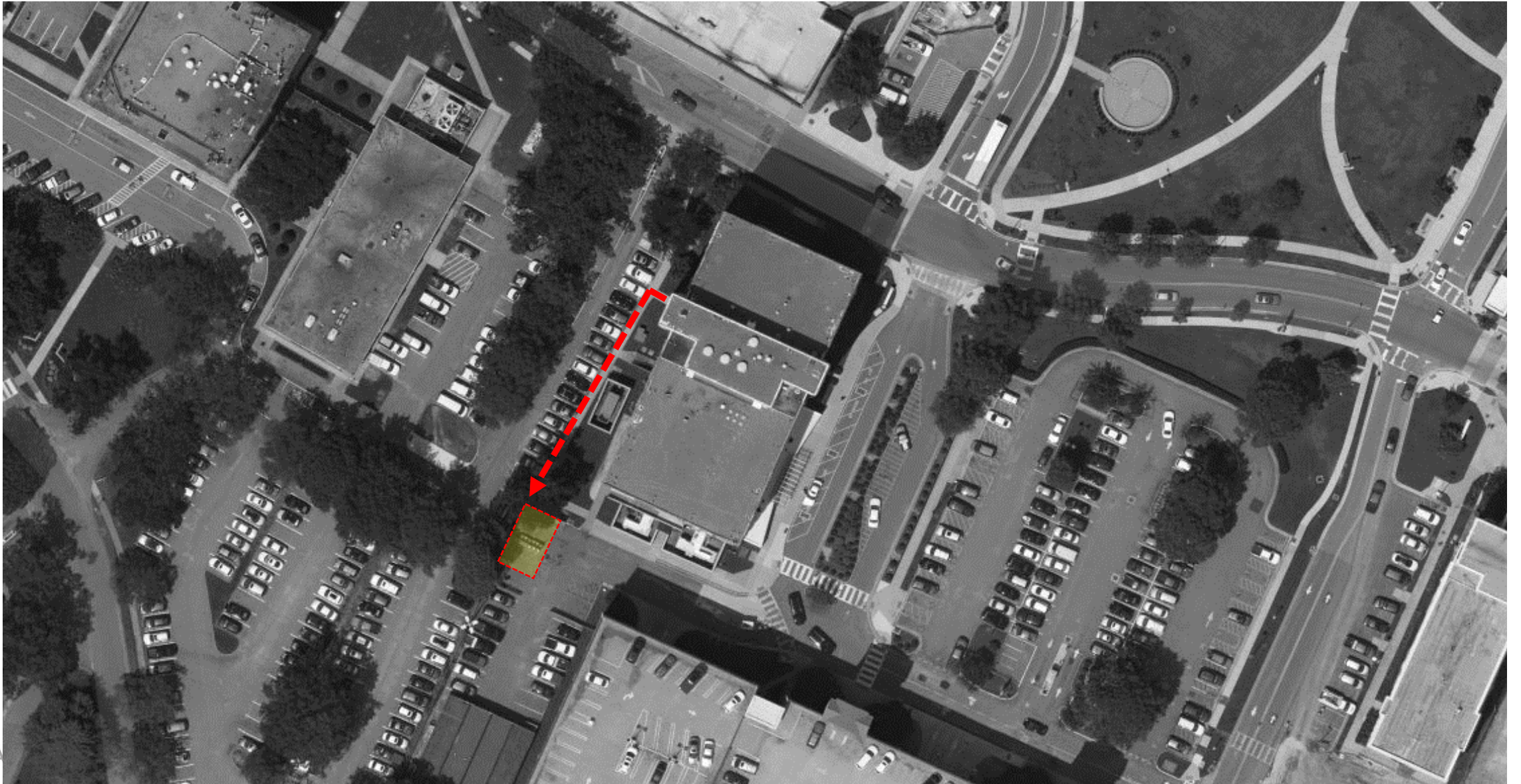


First Floor Contractor Access



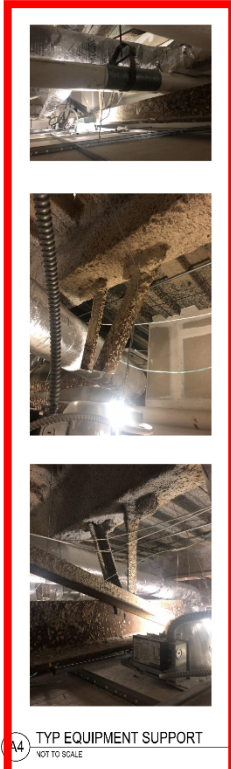
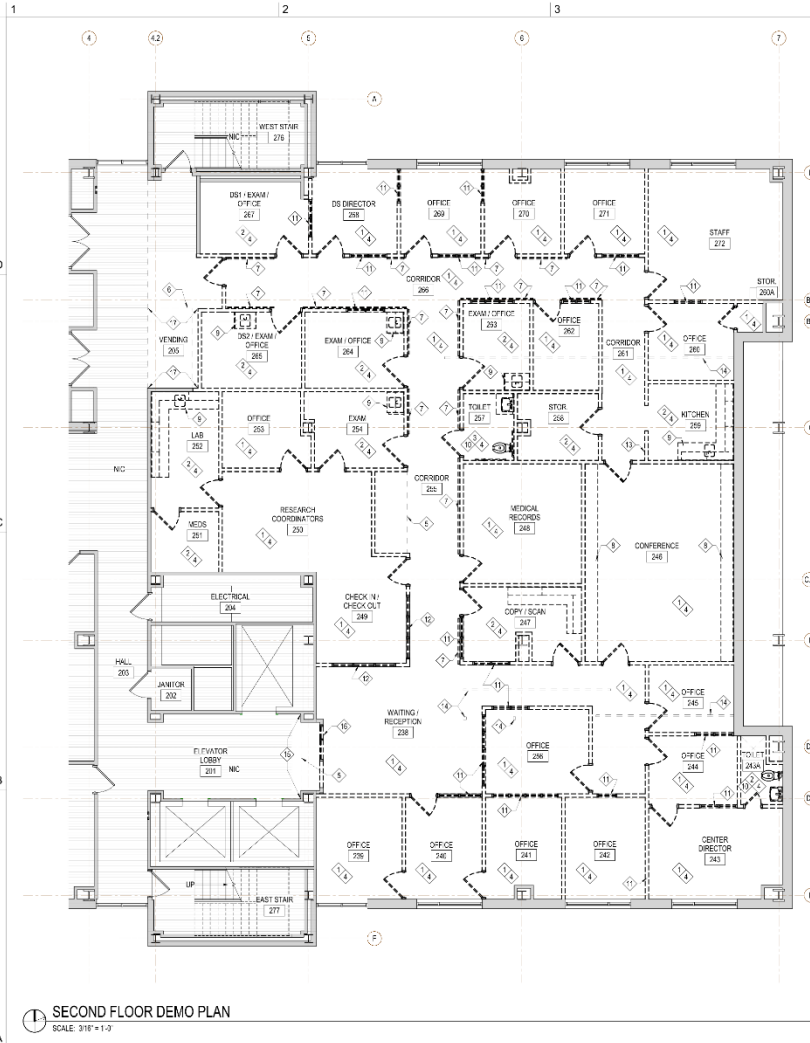


Laydown Area





Misc Steel Equipment Supports



GENERAL NOTES

A. FIRE RATINGS ON EXISTING PARTITIONS NOT SHOWN FOR CLARITY. SEE LIFT SAFETY PLANS FOR LOCATIONS OF EXISTING CONSTRUCTION.

B. EXTERIOR WALLS AND WINDOWS ARE TO REMAIN EXCEPT AS MODIFIED WITHIN THE CONTRACT DRAWINGS. EXISTING STRUCTURAL ELEMENTS (COLUMNS, BEAMS, FLOOR, ETC.) AND THE FRESHWORKING ON THESE ELEMENTS ARE TO REMAIN. SEE FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION PLANS FOR ADDITIONAL REQUIREMENTS ON THE REMOVAL, TERMINATION, OR CORROSION OF BUILDING SYSTEMS.

C. REMOVE GYPSONUM WALL BOARD ON EXISTING INTERIOR PARTITIONS TO REMAIN AND ON THE INSIDE FACE OF EXTERIOR WALLS AS REQUIRED TO REMOVE, ROUTE, AND INSTALL NEW BUILDING SYSTEM ELEMENTS AND BLOCKING INDICATED IN THESE CONTRACT DOCUMENTS.

D. WORK IN NC AREAS AND ON FLOOR BELOW WORK ABOVE THE CEILING ON THE FLOOR ON AND IN AREAS NOT TO BE REMOVED TO PERFORM THE ENGINEERING SYSTEMS WORK SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS. WHERE REQUIRED REMOVE, STORE, AND REINSTALL CEILING TILES TO EXTENTS REQUIRED TO PERFORM WORK.

- DEMOLITION KEY NOTES**
- 1 REMOVE CARPET FLOORING, ADHESIVE AND VINYL BASE, ENTIRE ROOM UNLESS OTHER LIMITS SHOWN.
 - 2 REMOVE VCT FLOORING AND VINYL WALL BASE, ENTIRE ROOM UNLESS OTHER LIMITS SHOWN.
 - 3 REMOVE CERAMIC TILE FLOORING AND CERAMIC WALL TILE, ENTIRE ROOM UNLESS OTHER LIMITS SHOWN.
 - 4 REMOVE ACoustICAL CEILING TILES AND GRID, ENTIRE ROOM UNLESS OTHER LIMITS SHOWN.
 - 5 REMOVE GWS BULKHEAD.
 - 6 REMOVE GWS CEILING TO EXTENT NEEDED FOR DEMO AND INSTALLING NEW WORK. REPLACE DAMAGED GWS WALL BASE WITH GWS & WALL BASE TO MATCH EXISTING.
 - 7 REMOVE WALL-MOUNTED BUMPER RAIL, SMOKEAL.
 - 8 REMOVE CASEWORK.
 - 9 REMOVE CASEWORK, COUNTER AND SINK.
 - 10 REMOVE ALL BATHROOM ACCESSORIES.
 - 11 REMOVE EXTERIOR HOLLOW METAL FRAME AND GLASS.
 - 12 REMOVE INTERIOR SLIDING GLASS PANELS.
 - 13 REMOVE RECESSED FIRE EXTINGUISHER CABINET.
 - 14 REMOVE ABANDONED ABOVE CEILING STEEL EQUIPMENT SUPPORTS SEE A4/AD101 FOR TYPICAL PHOTO EXAMPLES.
 - 15 OLT WALL COVERING AT INSIDE CORNER AND REMOVE BETWEEN THESE TWO POINTS.
 - 16 REMOVE HOLLOW METAL DOOR, FRAME, AND SIDELIGHTS. REMOVE TROOP WALL HANGING SIGN IN THE SIGNLIGHT.
 - 17 REMOVE VCT FLOORING, WALL BASE, AND ADHESIVE TO EXTENTS SHOWN.

RATED PARTITION LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED IN ITS ENTIRETY
	PORTION OF EXISTING WALL TO BE DEMOLISHED TO RECEIVE NEW WORK REFER TO NEW FLOOR PLANS
	EXISTING DOOR TO REMAIN
	EXISTING DOOR AND HARDWARE TO BE REMOVED. REFER TO NEW WORK FLOOR PLANS FOR DOOR TAGS.
	EXISTING WALL DOOR FRAME AND HARDWARE TO BE REMOVED IN THEIR ENTIRETY
	EXISTING OVERHEAD ITEM TO BE REMOVED, UNLESS OTHERWISE NOTED
	EXISTING PLUMBING FIXTURES TO BE REMOVED
	AREA NOT IN CONTRACT (NC)

GRAPHIC SCALE(S)

3/16" = 1'-0"

EVMS GYNECOLOGY
**HOFHEIMER HALL
SECOND FLOOR
RENOVATION**
825 FAIRFAX AVENUE
NOY OK, VA 23007

DESIGNER
CLARK NEXSEN
825 MAIN STREET, SUITE 1400
VIRGINIA BEACH, VIRGINIA 23462
757-435-5900



DATE/TITLE
03/28/24
FINAL SUBMITTAL

REVISIONS

PROJECT
**SECOND FLOOR DEMOLITION
PLAN**

AD101

DATE/ISSUE
03/28/24
REVISION
03/28/24

NO. 10376

14 REMOVE ABANDONED ABOVE-CEILING STEEL EQUIPMENT SUPPORTS. SEE A4/AD101 FOR TYPICAL PHOTO EXAMPLES.



Work in NIC Areas / Floor Below



- GENERAL NOTES**
- A. THE FINISHES ON EXISTING PARTS ARE NOT SHOWN FOR CLARITY. SEE THE SPECIFICATIONS FOR LOCATIONS OF FINISHES TO BE DEMOLISHED.
 - B. EXTERIOR WALLS AND WINDOWS ARE TO REMAIN UNLESS AS MODIFIED WITHIN THE CONTRACT DRAWINGS. EXISTING STRUCTURAL ELEMENTS INCLUDING SLABS, FLOOR, ETC. AND THE PROVISIONS ON THESE ELEMENTS ARE TO REMAIN. SEE FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL DETAILING PLANS FOR ADJUNCTAL REQUIREMENTS ON THE REMOVAL, EXTERIOR FINISHES OF BUILDING SYSTEMS.
 - C. REMOVE ALL PARTIAL WALL BOARDS ON EXISTING INTERIOR PARTITIONS TO REPAIR AND ON THE INSIDE FACE OF EXTERIOR WALLS AS REQUIRED TO REMOVE ROUTE, AND INSTALL NEW BUILDING SYSTEM ELEMENTS AND FINISHES.
 - D. WORK IN NIC AREAS AND ON FLOOR BELOW: WORK ABOVE THE CEILING ON THE FLOOR BELOW AND IN AREAS DENOTED NIC WILL BE REQUIRED TO PERFORM THE ENGINEERING SYSTEMS WORK AS SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS. WHERE REQUIRED, REMOVE, STORE, AND REINSTALL CEILING TILES TO EXTENTS REQUIRED TO PERFORM WORK.**
- DEMOLITION KEY NOTES**
- REMOVE CARPET FLOOR, VESTIBULE AND VINYL BASE, ENTIRE ROOM UNLESS OTHER LIMITS SHOWN.
 - REMOVE VOT FLOORING AND VINYL WALL BASE, ENTIRE ROOM UNLESS OTHER LIMITS SHOWN.
 - REMOVE CERAMIC TILE FLOORING AND CERAMIC WALL TILE, FINISHES TO REMAIN UNLESS OTHERWISE SHOWN.
 - REMOVE ADJUSTABLE CEILING TILES AND GRID, ENTIRE ROOM UNLESS OTHER LIMITS SHOWN.
 - REMOVE CAB BUILDINGS.
 - REMOVE CEILING TO EXPOSE STRUCTURE NEEDED FOR DEMO AND INSTALLING NEW WORK. REMOVE DAMAGED GYPSUM WALL BASE, PATCH GYPSUM WALL BASE TO MATCH EXISTING.
 - REMOVE WALL-TO-WALL PARTITION WALLS.
 - REMOVE CASTWORK.
 - REMOVE CASTWORK, SINK, TUB AND SINK.
 - REMOVE ALL BATHROOM ACCESSORIES.
 - REMOVE INTERIOR HOLLOW METAL FRAME AND GLASS.
 - REMOVE INTERIOR SLIDING GLASS PANELS.
 - REMOVE RECESSED FIRE EXTINGUISHER CABINET.
 - REMOVE ASAP (AS ABOVE) ABOVE CEILING TILES, EQUIPMENT SHALL BE AS AP (AS ABOVE) FOR TYPICAL PHOTO EXAMPLES.
 - OUT WALL OVERHANG AT 45 DEGREE CORNER AND REMOVE BETWEEN WORK AREAS.
 - REMOVE HOLLOW METAL DOOR FRAME AND REMOVE HOLLOW METAL DOOR FRAME, INCLUDING SILLING, FROM THE DOOR SILL.
 - REMOVE VOT FLOORING WALL BASE AND ADHESIVE TO EXPOSE FINISHES.
- RATED PARTITION LEGEND**
- EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE DEMOLISHED IN ITS ENTIRETY
 - PORTION OF EXISTING WALL TO BE DEMOLISHED TO RECEIVE NEW WORK REFER TO NEW FLOOR PLANS
 - EXISTING DOOR TO REMAIN
 - EXISTING DOOR AND HARDWARE TO BE DEMOLISHED FRAME TO REMAIN IN PLACE. REFER TO NEW WORK FLOOR PLANS FOR DOOR TAGS.
 - EXISTING WALL DOOR FRAME AND HARDWARE TO BE DEMOLISHED IN REMAINING PLACE
 - EXISTING OVERHEAD UTILITY TO BE DEMOLISHED UNLESS OTHERWISE NOTED
 - EXISTING PLUMBING FIXTURES TO BE REMOVED
 - AREA NOT IN CONTRACT (NIC)
- GRAPHIC SCALE(S)**
- 3/16" = 1'-0"



EVMS GYNECOLOGY
**HOFHEIMER HALL
SECOND FLOOR
RENOVATION**
525 HARRIS AVENUE
NOTY C/O, VA 23067

CLARK NEXSEN
505 NASH STREET, SUITE 1400
ROANOKE, VIRGINIA 24012
757.465.3300



DATE: 03/20/20
FINAL SUBMITTAL

D. WORK IN NIC AREAS AND ON FLOOR BELOW: WORK ABOVE THE CEILING ON THE FLOOR BELOW AND IN AREAS DENOTED NIC WILL BE REQUIRED TO PERFORM THE ENGINEERING SYSTEMS WORK SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS. WHERE REQUIRED, REMOVE, STORE, AND REINSTALL CEILING TILES TO EXTENTS REQUIRED TO PERFORM WORK.

PROJECT:
**SECOND FLOOR DEMOLITION
PLAN**

AD101

DATE: 03/18
DRAWN: TMM
SCALE: 3/16"
CN 10376



Inspection of Sewer and Vent Piping

LEGEND		ABBREVIATIONS	
GENERAL	VALVES AND ACCESSORIES	ABBREVIATIONS	
[F] CONSTRUCTION NOTE IDENTIFICATION	[Symbol] BALL VALVE	A3 ACCESS DOOR	
[Symbol] DEMOLITION NOTE IDENTIFICATION	[Symbol] CHIPPED PIPE	ADA AMERICANS WITH DISABILITY ACT	
[Symbol] CONNECTION TO EXISTING	[Symbol] CHECK VALVE	AFB ABOVE FINISHED FLOOR	
[Symbol] OCCUR TO THIS POINT	[Symbol] DIRECTION OF FLOW	AF3 ABOVE FINISHED GRADE	
[Symbol] INDICATES TO BE PROVIDED	[Symbol] INTERED BALANCING VALVE	AP ACCESS PANEL	
[Symbol] DOMESTIC COLD WATER	[Symbol] IN REGULAR FLOW	ARW ABOVE-ROOF WATER	
[Symbol] DOMESTIC HOT WATER (200°F)	[Symbol] PRESSURE GAUGE WITH GAUGE DOCK	CM COLD WATER	
[Symbol] DOMESTIC HOT WATER RECIRCULATING	[Symbol] STRAINER	DN DIAMETER	
[Symbol] SOIL WASTE OR SANITARY SEWER	[Symbol] THERMOMETER	DN DOWN	
[Symbol] VENT PIPING	[Symbol] BALANCING VALVE	ENG DRAWING	
[Symbol] PITCH DOWN IN DIRECTION OF ABOVE		EX EXISTING	
[Symbol] PIPE TURNING DOWN		DR DRAINING TO REMAIN	
[Symbol] PIPE TURNING UP		FF FINISHED FLOOR	
[Symbol] BRANCH BOTTOM CONNECTION		GA GAUGE	
[Symbol] BRANCH SIDE CONNECTION		GPM GALLONS PER MINUTE	
[Symbol] BRANCH TOP CONNECTION		HWT HOT WATER	
[Symbol] FLOOR CLEANOUT		HWR HOT WATER RETURN	
[Symbol] FLOOR DRAIN WITH DEEP SEAL PAN		SV SHOWER VALVE	
[Symbol] LATCH		SEX EXISTING	
[Symbol] WALL CLEANOUT		TPF TRIP PIN	
		WV WATER VALVE	
		WFA WATER FURNISHING APPROXIMATE SIDE	

GENERAL NOTES

- PROVIDE LABOR, MATERIAL, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH CONTRACT PLANS, SPECIFICATIONS AND APPLICABLE STATE AND LOCAL CODES.
- PROVIDE COMPLETE SYSTEMS FOR HOT AND COLD WATER, AND WASTE AND VENT PIPING TO FITURES WITHIN THE BUILDING.
- CONCEAL WATER, SOIL, WASTE AND VENT PIPING LINES IN THE BUILDING CONSTRUCTION, EXCEPT WHERE INDICATED OTHERWISE.
- PIPING RUN IN RETURN AIR CELLS IN FURNACE SPACE MUST BE CAST IRON OR 1/2" COOT APPROVED METAL. PLASTIC WILL NOT BE PERMITTED.
- WAVE FORMER PIPING CONNECTIONS TO FITURES AND EQUIPMENT SHALL BE WAVE FORMER HANGERS, ELBOWS AND CONNECTIONS ARE NOT SHOWN.
- COORDINATE ROUTING OF PIPING WITH OTHER TRADES.
- BASES OF DESIGN FITURES AND EQUIPMENT SHALL BE INDICATED IN THE PLANS OR FITTURE SCHEDULE, PUMP SCHEDULE, WATER HEATER SCHEDULE, SPECIALTIES SCHEDULE AND OTHER SCHEDULES AS APPLICABLE FOR GENERAL QUALITY AND PERFORMANCE. FITURES AND EQUIPMENT BY OTHERS ARE ACCEPTABLE PROVIDED THEY ARE OF THE SAME TYPE, QUALITY, PLANT MAKE AND OPERATION.
- COORDINATE WITH ARCHITECT, ARCHITECTURAL ENGINEER, ARCHITECTURAL INTERIOR DESIGNER, SUPPLIERS, ANCHORS AND CLIPS MUST BE COPPER OR COPPER PLATED.
- PROTECT COPPER PIPE AGAINST CONTACT WITH MASONRY OR METALS, HANGERS, SUPPORTS, ANCHORS AND CLIPS MUST BE COPPER OR COPPER PLATED.
- PROVIDE SHUTOFF VALVES IN DOMESTIC WATER PIPING SYSTEMS AND VALVES IN WHICH BRANCH PIPING SERVES TWO OR MORE FITURES.
- PROVIDE SHUTOFF VALVES IN ACCESSIBLE LOCATIONS ON ALL 1/2" OR ACCESSIBLE THROUGH WALL ACCESS DOORS ON PANELS.
- PROVIDE SHUTOFF VALVES IN ACCESSIBLE LOCATIONS ON ALL 1/2" OR ACCESSIBLE THROUGH WALL ACCESS DOORS ON PANELS.
- VALVING ITEMS LOCATED WITHIN A 12"x2" ACCESS DOOR OR PANEL MUST BE WITHIN 2" OF OPENING.
- PROVIDE A 1/2" ACCESS DOOR FOR PLUMBING TESTS LOCATED BEYOND 2' OF ROOM OPENING.
- UNLESS OTHERWISE NOTED, SLOPE DRAINAGE PIPING AT A MINIMUM 1/4" PER FOOT IN DIRECTION OF FLOW FOR PIPING 2" AND SMALLER, 1/8" PER FOOT IN DIRECTION OF FLOW FOR PIPING 3" AND LARGER.
- PROVIDE SANITARY VENT PIPING 1/2" DIA. AND CONNECT TO DRAIN BACK TO THE SANITARY DRAINAGE BY GRAVITY.
- PROVIDE LATERAL BRANCHING WITH HANGERS AND SUPPORTS AS REQUIRED TO PREVENT SWAGING ACCORDING TO IRC REQUIREMENTS.
- PROVIDE 1/2" SUPPORT BRAY BRACKING AT JOINTS IN DIRECTION GREATER THAN 45 DEGREES FOR ALL REQUIREMENTS.
- PROVIDE ALL LISTED THROUGH FLOOR STOPPING ASSEMBLIES FOR EACH PENETRATION OF STOPPED THROUGH FLOOR.
- PIPE STOPPING ASSEMBLIES MUST HAVE RATINGS THAT ARE EQUAL TO OR GREATER THAN NOTED WALL.
- PROVIDE DISCONNECT SWITCHES, UPS, DEVICES AND OTHER DEVICES AS REQUIRED FOR OPERATION OF THE SYSTEMS AND IN THE SPECIFICATIONS. THE ELECTRICAL CONNECTIONS SHALL PROVIDE COMPLETE DISCONNECT SWITCH FROM THE DISCONNECT SWITCH TO THE WATER OR VENT, AND FROM THE START CONNECTION.
- COORDINATE PIPING WITH ELECTRICAL PANELS, EQUIPMENT, AND PLUMBING PANS SUCH THAT IT DOES NOT OBEY AND SHARE ELECTRICAL EQUIPMENT.
- PROVIDE ALL LISTED FITURES AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURERS' INSTALLATION REQUIREMENTS.
- INSTALL THE PLUMBING TRAP SEAL PROTECTION ON ALL ACCEPTABLE WHEREAS, LIMITED BY CODE OR LOCAL ASSESSMENT, TRAP SEAL OTHER MUST CONFORM TO ASSESSMENT OF THE LOCAL ASSESSMENT WITH THE MANUFACTURERS' INSTALLATION INSTRUCTIONS.
- THE SCOPE OF INSTALLATION WORK IS TO PROVIDE PLUMBING FITURES, PIPING, VALVES, EQUIPMENT, ACCESSORIES, DEVICES, HANGERS, SUPPORTS, POWER CONNECTIONS AND ASSOCIATED HANGERS AND CONNECTIONS IN ACCORDANCE WITH THE CONTRACT PLANS.
- VERIFY THE SITE PRIOR TO BEGINNING WORK WITH EXISTING CONDITIONS AND PROJECT REQUIREMENTS. UNDESIRABLE CONDITIONS RESULTING FROM A FAILURE TO ACCOMPLISH A PROJECT SHALL NOT BE CONSIDERED GROUNDS FOR A CHANGE ORDER.
- IF THERE IS AN OBSTRUCTION TO BE REMOVED OR CHANGED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OBTAIN WRITTEN PERMISSION AND A LOCATION SURVEY. BEFORE ANY OBSTRUCTION IS REMOVED OR CHANGED, THE CONTRACTOR SHALL REMOVE ALL EXISTING PIPING AND APPURTENANCES AND COVER NECESSARY AND EXISTING PIPE. PATCH PENETRATIONS WHERE EXISTING PIPE WAS REMOVED.
- REMOVE ALL EXISTING PIPING AND APPURTENANCES UNLESS OTHERWISE NOTED AND EXISTING PIPE WITHIN 2' OF EXISTING FIRE RATCH PENETRATIONS WHERE EXISTING PIPE WAS REMOVED.
- EXISTING PIPE SHALL BE REMOVED OR REPAIR OR REPLACE AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FOR EXISTING PIPE TO BE RETAINED FOR USE WHERE NECESSARY ACCESS ONLY.
- COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR PIPING SERVICE CONNECTIONS TO EXISTING SYSTEMS WHERE POSSIBLE, LIMIT DOWN TIME TO A MINIMUM OF 2 HOURS PER CONNECTION TO BE MADE AND REPAIR.

ERMS GYNECOLOGY
**HOFHEIMER HALL
 SECOND FLOOR
 RENOVATION**
 632 FAIRFAX AVENUE
 NORFOLK, VA 23517

CLARK NEXSEN
 4600 WYN STREET, SUITE 400
 RICHMOND, VA 23292
 703.655.6600

CONTRACTOR TO INSPECT ALL SEWER AND VENT PIPING WITHIN THE LIMITS OF CONSTRUCTION FOR SIGNS OF CRACKS, LEAKS OR DETERIORATION. NOTIFY OWNER AND ARCHITECT OF FINDINGS



JAMES B. BUNKER
 PROFESSIONAL ENGINEER
 PLUMBING LEGEND

P-001

REVISED BY: JMB
 DRAWN BY: JMB
 CHECKED BY: JMB
 CN 10376

CONTRACTOR TO INSPECT ALL SEWER AND VENT PIPING WITHIN THE LIMITS OF CONSTRUCTION FOR SIGNS OF CRACKS, LEAKS OR DETERIORATION. NOTIFY OWNER AND ARCHITECT OF FINDINGS



Panel L2B Location



EXISTING PANEL L2B IS RECESS MOUNTED IN A CORRIDOR WALL APPROXIMATELY 75 FEET PLAN WEST OF THIS LOCATION.

EXISTING PANEL L2B IS RECESS MOUNTED IN A CORRIDOR WALL APPROXIMATELY 75 FEET PLAN WEST OF THIS LOCATION.

GENERAL NOTES
A. PROVIDE JUNCTION BOXES TO DATA CABLING SUPPORT ABOVE CEILING IN ALL CORRIDORS. SEE TYP. CAL. CHECK INSTALL DETAILS ON SHEET EP101

KEY NOTES
1. PROVIDE JUNCTION BOXES IN WALL TO TRANSITION POWER AND DATA FROM WALL TO INSIDE DESK.
2. CONDUIT RECEPTACLE TO COUNT SAVED IN DECKLIT ON.
3. CONDUIT 1/4" VIA THE SECOND SET OF CONTACTS IN THE SWITCH. USE THE LIGHTING PLAN FOR SWITCH LOCATION.

BY/AS ENGINEER
**HOFHEIMER HALL
SECOND FLOOR
RENOVATION**
625 FAIRVIEW AVENUE
NORTH RICHMOND, VA 23267

PROJECT
CLARK NEXSEN
1432 MAIN STREET, SUITE 1100
VIRGINIA BEACH, VIRGINIA 23462
757-485-6600

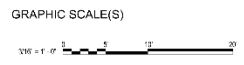
PROFESSIONAL SEAL

CLARK NEXSEN
REGISTERED PROFESSIONAL ENGINEER
STATE OF VIRGINIA
LICENSE NO. 55112
FINAL SUBMITTAL

REF:
SECOND FLOOR POWER AND
TELECOMMUNICATIONS PLAN

EP101

1.0.010 - REP
1.0.011 - MFP
1.0.012 - PDS
CN 10376



DATE PLOTTED: 04/14/2020
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PLOT BY: JACOBSON

SECOND FLOOR POWER AND
TELECOMMUNICATIONS PLAN
SHEET 116 - 117



Questions?
